

SUMMIT VIEW BUSINESS PARK DESIGN GUIDELINES

2019 Edition



Acknowledgements

Prepared for:



Franklin County, VA
A Natural Setting for Opportunity

Office of Economic Development
of Franklin County, Virginia
Contact: Mr. Michael Burnette
1255 Franklin Street, Suite 112
Rocky Mount, VA 24151
(540) 483-3030

Prepared by:



TIMMONS GROUP
YOUR VISION ACHIEVED THROUGH OURS.

Timmons Group, Inc.
1001 Boulders Parkway
Richmond, VA 23225
(804) 200-6500

Purpose of the Guidelines:

These guidelines are intended for use by Franklin County Economic Development, as a supplement to the zoning regulations that apply to the Summit View Business Park. Existing tenants, landowners, and prospects must be familiar with the design guidelines herein and must abide by these guidelines. Any prospect or development that intends to deviate from these guidelines must submit documentation to be approved by the Franklin County Board of Supervisors explaining the request for deviation.

Note: The Franklin County Board of Supervisors may, at its discretion, assign review and/or approval of plans and deviations from these guidelines to a committee or team of County Staff.



Table of Contents

| | |
|------------------------------|----|
| Summit View Master Plan | 6 |
| Public Spaces | 8 |
| Public Buildings | 9 |
| Commercial/Retail | 10 |
| Industrial/Office/Technology | 11 |
| Architecture | 12 |
| General Requirements | 12 |
| Event & Recreational | 14 |
| Public Buildings | 16 |
| Commercial/Retail | 18 |
| Industrial/Office/Technology | 20 |
| Yard Requirements | 22 |
| Streetscapes | 24 |
| Landscape | 28 |
| Lighting | 34 |
| Signage | 38 |
| Parking | 40 |
| Loading and Service Areas | 42 |
| Fencing | 44 |
| Plan Review Requirements | 48 |

Summit View Master Plan – Summary

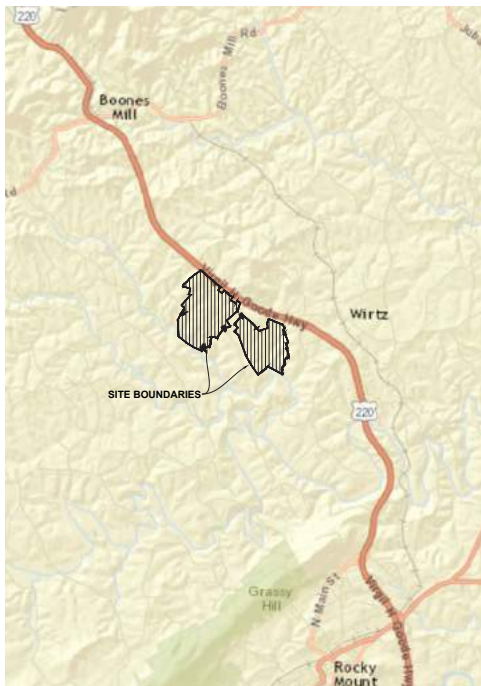


The Summit View Business Park is located in Franklin County, Virginia on U.S. Route 220 between the towns of Rocky Mount and Boones Mill. The 550-acre site is currently zoned Regional Enterprise Park District (REP) and falls within the 220-North Rural Development Overlay District. Refer to the Franklin County, Virginia zoning ordinance Chapter 25, Article III, Division 13 and Article IV, Division 5 for the regulations for development associated with these zoning districts. The Summit View Design Guidelines are subordinate to the Franklin County zoning ordinance; in any conflicts between the Guidelines and zoning ordinance, the latter governs.

The vision for the new park is a campus-style development that will attract modern companies that are looking for an immersive location with community amenities, instead of a traditional industrial park. The Summit View Business Park will incorporate principles of traditional neighborhood design, including environmental preservation, walkable connections among buildings and uses, and a compatible mix of uses. The park is expected to accommodate up to three million square feet of advanced light manufacturing, warehouse/distribution, and office/technology space. The overall design encompasses recreation areas, event grounds, greenspace, walking/biking trails, water features, a tourist welcome center, and public safety buildings, among other uses.

The development area is approximately 323-plus acres north of Brick Church Road and approximately 223 acres south of Brick Church Road. The topography is rolling, with drainage swales cutting across both regions of the development. There is an Appalachian Electric Power transmission line on the site. The route of the proposed Mountain Valley Gas Pipeline runs along the southern/eastern border of the northern region. The majority of the property has been cleared and actively farmed prior to purchase by the County.

The North Region is designed to provide up to twelve facilities ranging in size from 15,000 s.f. to 600,000 s.f., though larger facilities can be accommodated, and is accessible from U.S. Route 220 via Commonwealth Parkway. The South Region is designed to accommodate up to a 1,000,000 square-foot facility, along with two smaller buildings, and is accessible from U.S. Route 220 via Pleasant Breeze Boulevard. The two sides will be connected via Pleasant Breeze Boulevard, a median-divided parkway that traverses along the alignment of the former Pleasant Breeze Road, crosses Brick Church Road, and connects to Commonwealth Parkway and U.S. Route 220 in the North Region. This connector road will allow access between the two sides of the park without having to travel on U.S. Route 220.

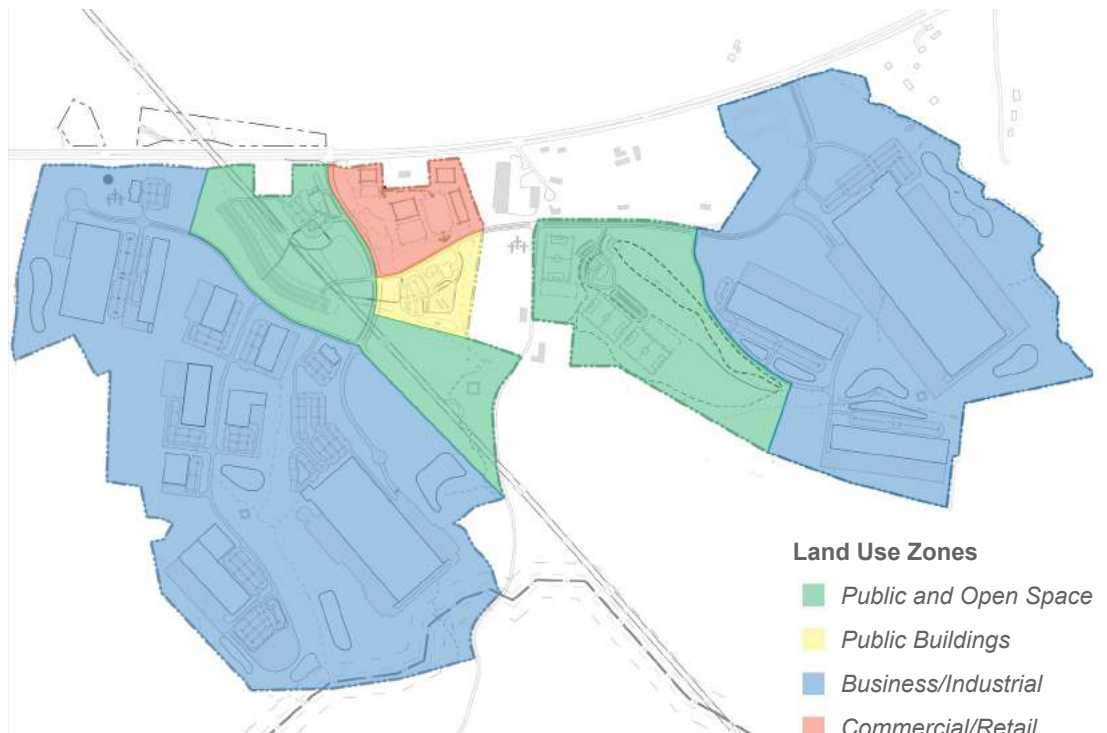


Summit View Master Plan



Above: Master Plan

Right: Land Use Zones



Public Spaces



The public spaces in the Summit View Business Park are planned to accommodate several different areas. These have been identified generally as:

- ▶ Event Area
- ▶ Fairgrounds Area
- ▶ Public Works Area
- ▶ Recreational Area

The Event Area is envisioned to be a community gathering space, refurbishing and re-purposing some of the original Southway Farm buildings. The existing main house will be repurposed as a meeting space and/or management center for the Park. A pavilion-style Produce Auction and public use building is proposed for new construction. A Restroom/Concessions building is proposed for this area as well. These facilities are clustered on the high ground at the northern entrance to the park and are highly visible from U.S. Route 220. A parking lot is proposed immediately behind and adjacent to these facilities to support their parking needs for routine operations.

The Fairgrounds Area is immediately adjacent to the Event Area, but down grade from it. This area is generally graded flat and is left open for maximum flexibility in accommodating the County Fair (Midway and Pavilion/Tents), festivals, and other events. Temporary restrooms will be provided to accommodate anticipated large crowds. A significant amount of grass parking is provided to accommodate the patrons for large events.

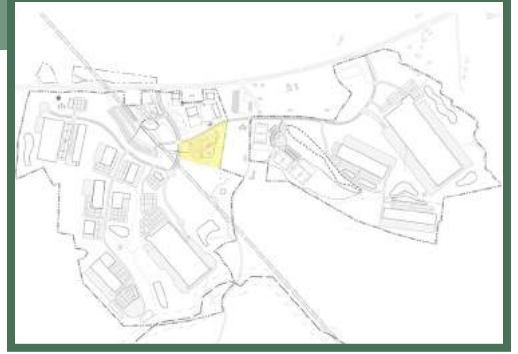
The Public Works area includes a Park and Ride lot and a Solid Waste Collection Center. There will be County storage and maintenance buildings associated with this area as well. Security fencing and landscape screening will be provided around the convenience center and any outdoor storage space. This area may also contain a Fire and EMS Station.

The Recreational Area includes both active and passive uses. The active recreation area will include three multiuse athletic fields, which are planned on the south side of the Park, near the Germantown Brick Church of the Brethren. A parking lot is planned adjacent to these fields to support game day crowds and to provide convenient access for players, coaches and spectators. A Restroom/Concessions building and a Pavilion are proposed for this area as well. The recreational programming will include a playground, a splash pad, bike park, trails, and other amenities. Trails wind all through the public spaces, connecting the North and South regions along Pleasant Breeze Boulevard. Several trailheads are placed throughout the park, providing parking options to access the trails at several locations.

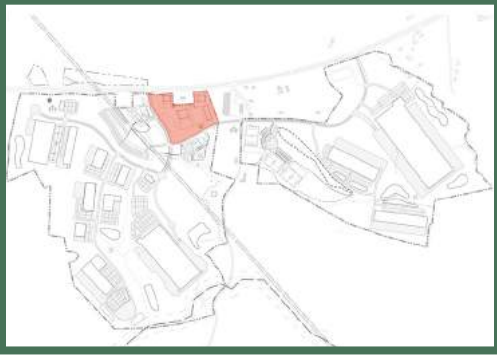


Public Buildings

Space for a public safety facility (modeled on a fire station design) is designated on the northern side of the park, adjacent to the Solid Waste Collection Center.



Commercial/Retail



The property on the east side of Commonwealth Parkway and north of the east/west connector road, Pleasant Breeze Boulevard, is an ideal location for commercial and/or retail development to service park visitors and businesses. It is visible from U.S. Route 220 and will be easily accessible through the business park roads. It is in an ideal location for commercial businesses that provide services for the employees of the park in addition to the general public.

Commercial and Retail facilities must front Pleasant Breeze Boulevard and parking areas must not be along U.S. Route 220. Service and loading areas in the rear of the buildings must be screened from view from U.S. Route 220 and from the public spaces of the park. It is expected that all access will be via roads internal to the park. Wherever possible, sidewalks and multiuse paths should be used to connect commercial and retail to other public areas.

Parking and stormwater management will be required independent from the rest of the Summit View Business Park infrastructure.



Industrial/Office/Technology

The North Region is designed to provide up to twelve facilities of ranging in size from 15,000 s.f. to 600,000 s.f. placed at varying elevations across the site. Due to the topography, the buildings are grouped into four sub-regions, which are areas that will most effectively be graded together. Access to this portion of the site is primarily from Commonwealth Parkway and Virginia Way via a planned intersection with U.S. Route 220 at the existing Summit View Business Park north crossover.

The South Region is designed to accommodate a 1,000,000 s.f. facility, along with two smaller buildings. Access to this side of the park will be primarily from Pleasant Breeze Boulevard via a planned intersection with U.S. Route 220 at a new crossover location.

The two sides of the business park are connected via Pleasant Breeze Road that traverses the properties parallel to U.S. Route 220. This connector road allows access between the two sides of the park without having to travel on U.S. Route 220 and will also provide access to the commercial/retail properties between the park and U.S. Route 220.

This zone will be designed to evoke the feel of a business or corporate park and not a conventional industrial park.



Architecture – General Requirements

Appropriate Architecture



The architecture should link the indoors with the outdoors and highlight the scenic vistas and pastoral context.



Exterior devices such as these timber fins shade offices and complement the adjacent timber cladding (with integrated signage).



Landscaping and lighting in this pedestrian plaza complements the architecture and draws on CPTED principles to create a safe, welcoming space for visitors.



The buildings and associated exterior spaces should include places for people to gather.

Architecture – General Requirements

Architectural Overview

Summit View Business Park is divided into four architecture type zones, which are distinctly different, but do have some common architectural design characteristics. The zones are as follows:

- ▶ Event and Recreational
- ▶ Public Buildings
- ▶ Commercial/Retail Buildings
- ▶ Industrial/Business Buildings

Architectural design plays a key role in the success of a building and patronage of the businesses. Common design concepts that should be applied across all of the zones include:

Building Code

Buildings must be designed and constructed in accordance with the provisions of the International Building Code (IBC), as adopted by Franklin County, and the Fire Prevention Code.

Building Height

Building height must not exceed 50' (exclusive of belfries, cupolas, chimneys, flues, flagpoles, television antennae, radio aerials, silos, and water tanks), unless approved by a special use permit granted by the Franklin County Board of Supervisors.

Building Equipment

Building systems are necessary for the proper function of the building and require a great deal of space. Building systems include mechanical, electrical, plumbing, drainage supply, distribution systems, and their related components. If placed on the exterior of the building, these systems must be properly screened utilizing the general guidelines in the "Loading and Service Area" section of this document and applicable zoning provisions. This equipment should be incorporated into the overall form of the building and not appear as an appendage with the sole purpose of housing equipment. Equipment enclosures, exposed piping, vent hoods, risers, and other building system elements that are required to penetrate above the roof must be screened from view with a parapet wall or alternative architectural element constructed of permanent materials.

Sustainable Design Principles

The County encourages but does not require the consideration of using sustainable design concepts as a means of being a good steward of the environment.

Examples of Sustainable Design Principles Include:

- ▶ Non-heat island effect for roofs
- ▶ Light pollution reduction (using fixtures that reduce spill-over)
- ▶ Water use reduction
- ▶ Passive solar and exterior shading devices

- ▶ Construction waste management
- ▶ Recycled materials
- ▶ Regional materials
- ▶ Rapidly renewable materials
- ▶ Daylighting
- ▶ Green roofs
- ▶ Solar power generation

Crime Prevention through Environmental Design

CPTED is a multi-disciplinary approach to deterring criminal behavior through environmental design strategies that rely upon the ability to influence offenders' decisions prior to criminal acts.

Examples of CPTED Principles include:

- ▶ Insure that all building entries are visible to the public right-of-way.
- ▶ Use transparent vestibules at building entrances.
- ▶ Eliminate opportunities for unauthorized building entry, such as roof access.
- ▶ Display security system signage at access points.
- ▶ Provide adequate lighting at building entrances and parking lots.
- ▶ Make parking areas visible from adjacent properties.
- ▶ Use appropriate landscaping that does not provide screening for criminal activities.

Architecture – Event and Recreational

Appropriate Architecture



Traditional barn style massing, materials, colors and architectural features are appropriate for this context.



The interior of the farmstead buildings feature simple materials, but due to their detailing provide a certain rustic elegance.



Both of the examples on the bottom of this page are good examples of how to execute the pavilions. This image features traditional heavy timber construction with painted metal plates.



Pre-engineered glue laminated wood members provide the warmth of traditional wood framing, but the structures are much simpler in design.

Architecture – Event and Recreational

Architectural Overview

The first architectural type includes the original farm structures and future recreation facilities provided and maintained by the County.

Parking/Loading

The location of parking lots, loading areas, and service drives must be located around (exterior or rear of the buildings) the original event area in order to maintain a pedestrian focal point between the buildings that will be developed into a gathering space. Parking for recreational facilities should ideally be shared with other facilities.

Scale and Massing

New buildings must be no higher than 50 feet per requirements for the business park. In most cases, new buildings must be single-story, unless the grade supports a lower level or basement. Multistory buildings may be considered as a part of traditional neighborhood design and vertical mixed-used development. Designs should incorporate features that are compatible with the human scale. A sense of human scale is achieved when one can reasonably interpret the size of a building by comparing features of its design to comparable elements in one's experience.

Roof Forms

The design of all roofs must be pitched at a minimum of a 6 to 12 ratio. Gable roofs are preferred. Flat or low-sloped roofs are not allowed. Overhangs must be a minimum of 1 foot along the eaves and 6 inches along the gable rake. Gutters and downspouts must be provided to manage stormwater.

Materials

The selection of the façade and roof material must be in keeping with the traditional materials found at the original farmstead.

- ▶ Acceptable Materials
 - Exposed Foundations: Painted concrete masonry or concrete.
 - Exposed Structural Elements: Pressure treated heavy timber wood posts and pre-fabricated wood roof trusses.
 - Building Façades: Prefinished fiber cement board with a wood grain finish in either a lap siding or board and batten pattern. The color palette must be white or light gray.
 - Roofs: Standing seam galvanized metal or galvalume. Gutters and downspouts to match roof material. Color palette will be dark green.
 - Windows: Clad wood windows with muntin bars in either a double-hung, casement, or awning style.
- Doors Frames and Doors: Painted hollow metal.
- ▶ Unacceptable Materials
 - Split-face block (except on foundations)
 - Face brick
 - Metal siding
 - Stucco
 - Shingles

Architecture – Public Buildings

Appropriate Architecture



The public buildings are transitional buildings where the architecture recalls the massing of the farmstead buildings and utilizes some of the same materials as features. This image features porches with wood framing and metal roofing.



While the massing of the roof is more complex than those at the Farmstead it is good example of transitional architecture (design that is evolving into something different). Painted pipe columns replace wood framing.



A painted lap sided barn structure with a contemporary steel porch feature constructed in a traditional framing method of columns and beams.



Another barn structure that blends siding and manufactured stone. Metal roofing and wood porch columns recall the images of the Farmstead.

Architecture – Public Buildings

Architectural Overview

The second architecture type includes public buildings outside of the Event/Recreational zone that are constructed and maintained by the County. Emphasis should be given to blending the rural, pastoral elements of the farmstead with modern design elements.

Scale and Massing

New buildings must be no higher than 50 feet per requirements for the business park. In most cases, new buildings must not exceed two stories, unless the grade supports a lower level or basement. Multistory buildings may be considered as a part of traditional neighborhood design and vertical mixed-used development. Designs should incorporate features that are compatible with the human scale.

Roof Forms

The design of the roofs must be pitched at a minimum of a 6 to 12 ratio. Gable roofs are preferred to flat or low sloped roofs. Overhangs must be a minimum of 1 foot along the eaves and 6 inches along the gable rake. Gutters and downspouts must be provided to manage stormwater.

Materials

The selection of the building materials must provide a sense of scale and texture and are used to convey a quality design. Materials should be high-quality and durable.

► Acceptable Materials:

- Masonry: Pre-finished concrete masonry units, clay face brick and manufactured stone.
- Stone: Natural stone.
- Wood: Heavy timber structural elements.
- Sloped Roofs: Standing seam galvanized metal or galvalume. Gutters and downspouts to match roof material. Color palette will be dark green.
- Flat (low-sloped) Roofs: Thermoplastic polyolefin (TPO) single ply membrane.
- Windows: Thermally broken aluminum storefront or curtainwalls.
- Doors Frames and Doors: Thermally broken aluminum storefront and painted hollow metal for personnel doors and aluminum overhead coiling doors for loading areas and vehicle bay areas. Consider using glazing in overhead coiling doors where possible.

► Unacceptable Materials:

- Metal siding
- Stucco
- Shingles



A visualization of the proposed Recreation Center

Architecture – Commercial/Retail

Appropriate Architecture



The Commercial and Retail buildings are architecturally connected to the Public Buildings more so than the Farmstead. The exterior materials in this image communicate a quality level that is appropriate for this zone. Exterior spaces and architectural light fixtures enhance the design.



The wrap around porch engages the public way on the first floor and provides interesting exterior spaces on the second floor. The wood porch members are a more finished version of the rough sawn/heavy timber wood found at the Farmstead.



This image is a good example of articulation of the vertical wall plan and varying the height of the building to create interest.



The traditional barn structure is also appropriate in this zone. Creating spaces for exterior activities is also an enhancement.

Architecture – Commercial/Retail

Architectural Overview

The third architecture type includes all commercial and retail buildings located in the Commercial/Retail zone along (U.S. Route 220). Emphasis should be given to blending the rural, pastoral elements of the farmstead with modern design elements.

Entrances

Building entries should be oriented towards the primary street frontage or public way to allow the public to easily determine location of the front entries. No parking entrances will be allowed onto U.S. Route 220. Wherever appropriate, parking areas should be oriented towards the rear of buildings so that they are screened from view from the street. If service lanes are required and they face U.S. Route 220 or other roads, they must be screened with a vegetative buffer.

Building Scale and Massing

The overall size, height and form of a building help determine how large it appears and whether it is compatible with the context. Although a new building may be larger than adjacent buildings, it should not be monolithic in scale or create a jarring contrast. Recognizing existing patterns such as varied heights, smaller building masses and articulated façades will help a new building fit with its neighbors. The maximum overall building height should meet the zoning requirements of Franklin County.

- ▶ Use variation in building and parapet heights to add visual interest.
- ▶ For multistory buildings design the first floor height to be taller than the upper floors.
- ▶ Utilize vertical articulation techniques such as wall plane offsets (notches), wall projections (columns, pilasters, moldings), or material variations to add visual interest.
- ▶ Use horizontal articulation techniques to establish a sense of human scale such as awnings, canopies, arcades, belt courses, or material variations.

First Floor Façade Design

The first floor of the building should incorporate features that help create a pedestrian-friendly environment and one that engages the public and promotes pedestrian activity.

Roof Forms

Roof forms should be compatible with the scale and massing of the building façade. Roofs may either be sloped at an appropriate pitch or be flat (low-sloping) or a combination of both. Roofs forms do not have to extend from the front to the rear of the building, however they must have adequate depth (to the rear of the property) to avoid looking like a shallow parapet. Overhangs must be a minimum of 1 foot along the eaves and 6 inches along the gable rake. Gutters and downspouts must be provided to manage stormwater or provide for low slope roofs and internal roof drains.

Materials

The selection of the building materials must establish a sense of scale and texture and are used to convey a quality design. Materials should be high-quality and durable.

- ▶ Acceptable Materials for the Front and Side Façades.
 - Wood: Heavy timber structural elements.
 - Building Façades: Masonry must be the primary material on at least 75% of the net façade area of the first floor. Acceptable materials include face brick with cast stone accents or manufactured stone. Prefinished concrete masonry units may also be used, but is limited to 25% of the net area first floor façade. No concrete masonry units above the first floor. Masonry may also be used on the upper portions of the façade. Other acceptable materials include prefinished fiber cement board with a wood grain finish or stucco.
 - Sloped Roofs: Standing seam galvanized metal or galvalume. Gutters and downspouts to match roof material.
 - Flat (low sloped) Roofs: Thermoplastic polyolefin (TPO) single-ply membrane.
 - Windows: Thermally broken aluminum storefront.
 - Doors Frames and Doors: Thermally broken aluminum storefront or custom wood grained fiberglass.
- ▶ Unacceptable Materials on the Front and Side Façades
 - Metal siding
 - Shingles

Architecture – Industrial/Office/Technology

Appropriate Architecture



Industrial buildings are much larger than any of the other building types and they must be respectfully treated to avoid being an eyesore. The dark metal siding is a striking feature for this building that is set on a hill. Horizontal expanses of glass that are inset from the façade aid in breaking up the large façade.



An inset corner entrance adds character and is enhanced with the adjacent stained wood siding. The southern side of the building feature cable supported sun shades that reduce the solar heat gain of the large windows.



Note that the traditional large metal sided structure attached to a very creatively designed office building. The bright colors and window design capture your attention. Iconic signage is used to identify the building owner.



Perhaps the simplest design of all of these images, it is still very effective in how the use of wall articulations, materials and color break up the massing of the building.

Architecture – Industrial/Office/Technology

Architectural Overview

The final architectural type includes the light manufacturing, warehouse/distribution, and office/technology buildings located in the Industrial/Office/Technology zones towards the rear of the park.

Entrances

Building entries should be oriented towards the primary street frontage or public way to allow the public to easily determine the location of front entries. Building entries should be clearly identifiable and integrated within the overall building design. The use of canopies, recessed entry doors, projections, columns, distinctive materials, and colors to articulate entrances should be considered. Where possible parking areas should be oriented to the rear of the building. Parking should be appropriately screened from the road or parkway.

Building Scale and Massing

Massive building façades should be broken up by various architectural treatments. Use of metal panels with continuous horizontal or vertical seams should be avoided. Iconic design features may be considered. These features help define a building, convey a unique appearance or make an area more memorable and interesting to visitors. The maximum overall building height should meet the zoning requirements of Franklin County.

Fenestration

The use of windows and curtain wall aid in breaking up the massing of large buildings. Glass and framing color should complement the other building materials. In some cases, larger buildings may have portions of the façade which are windowless due to the interior functions of that portion of the building. Attention to the design of the façade in these areas should be addressed to avoid large, long blank façades. Use of faux windows, insets, change of materials, decorative detailing, or other techniques to add variety to the façade is encouraged.

Materials

The selection of the building materials must provide a sense of identity of the corporation who resides in the building.

► Acceptable Materials for the Front and Side Façades:

- Concrete: Precast concrete panels, provided that the panels have an architecturally appropriate finish. No more than 25% of the surface area of the front and side façades may be plain precast concrete.
- Masonry: Pre-finished concrete masonry units including split face, ground face and glazed face units, clay face brick and manufactured stone.
- Stone: Natural stone.
- Metal: Metal siding or composite metal panels, provided that the metal has an architecturally appropriate finish. No more

than 25% of the surface area of the front and side façades may be plain metal siding or panels.

- Sloped Roofs: Standing seam galvanized metal or galvalume. Gutters and downspouts to match roof material.
 - Flat (low sloped) Roofs: Thermoplastic polyolefin (TPO) single ply membrane.
 - Windows: Thermally broken aluminum storefront or curtain walls.
 - Doors Frames and Doors: Thermally broken aluminum storefront and painted hollow metal for personnel doors and aluminum overhead coiling doors for loading areas or vehicle bay areas. Consider using glazing in overhead coiling doors where possible.
- #### ► Unacceptable Materials on the Front and Side Façades:
- Fiber cement siding
 - Stucco
 - Shingles
 - Vinyl siding

Architecture – Yard Requirements

Architectural Overview

The following yard requirements and recommendations apply to all uses within the Summit View Business Park:

- ▶ **Minimum Yard Requirements:**
 - **Front Setback:** The minimum distance from the nearest point of the principal structure (including porches, stoops or any accessory buildings) to the edge of the right-of-way of U.S. Route 220 must be fifty (50) feet. It must be thirty-five (35) feet to the edge of the right-of-way for all other roads.
 - **Side Setback:** The minimum side setback is twenty five (25) feet, except that no building, structure, accessory use or outdoor storage area must be located closer than eighty (80) feet to any residential or agricultural zoning district.
 - **Rear Setback:** The minimum rear setback is thirty (30) feet, except that no building, structure, accessory use or outdoor storage area must be located closer than eighty (80) feet to any residential or agricultural zoning district.
 - **Floor Area:** Not regulated
- ▶ **Landscape Yards:**
 - **Adjacent to U.S. Route 220:** A minimum landscape yard of fifty (50) feet, measured perpendicular from the edge of the right-of-way, must be required. Structures, buildings, parking areas, outdoor storage and outdoor display are prohibited in the required landscape yard.
 - **Adjacent to all other roadways:** A minimum landscape yard of twenty five (25) feet, measured perpendicular from the edge of the right-of-way, must be required. Structures, buildings, parking areas, outdoor storage and outdoor display are prohibited in the required landscape yard. Driveways may cross the landscape yard.

Utility services must be placed underground. Stormwater features visible from the public right of way must be screened.

Whereever possible, and if the individual property owner is amenable, the yard area may be used to improve pedestrian connectivity between the public streetscapes and the campuses of individual businesses. Site furnishings, such as benches and bike racks, are encouraged to make the campus more bicyclist- and pedestrian-friendly.

This page is intentionally left blank.

Streetscapes

Appropriate Streetscapes



Site furnishings such as these benches and trash receptacles encourage pedestrian use of the sidewalks and create places for pause.



Landscaped medians separate lanes of traffic and provide shade and beautification for the street network. Any work in the median will be within the public right-of-way and must be approved by VDOT.



Sidewalks connect all sites at Summit View creating pedestrian access and connectivity throughout the business park. Spaces between the curb and sidewalk promotes pedestrian safety. Sidewalks must be concrete or asphalt, meet ADA requirements, and be a minimum of 5' wide.



Uniformly spaced trees create rhythm and continuity along the streets. Street trees break up the vertical plane and provide diversity and shade throughout the year.

Inappropriate Streetscapes

Streetscapes at the Summit View Business Park set the tone for the park aesthetic and reflect the quality of its corporate image. Carefully designed streetscapes mitigate traffic speeds, orient and direct motorists, promote walking and biking, and create connectivity throughout the park. The following streetscape elements must work in harmony to serve the needs of the Summit View Business Park:

Street Design Standards

All primary park roads must be designed in accordance with VDOT standards for Urban Collector Roads with Urban Low Speed criteria (Urban GS-7) for acceptance of secondary streets into the state maintenance system. All new entrances to public or private streets must comply with VDOT standards for entrance separation, sight distance, turn radius and corner clearance. The Recreation Access Road will be a VDOT-maintained road, but will comply with Recreational Access standards.

Street Sections

Commonwealth Parkway must have an ultimate street section to include two (2) lanes of travel in each direction, separated by a landscaped median. Pleasant Breeze Boulevard must consist of at least one (1) lane of travel in each direction, separated by a landscaped median. All other internal Park roads do not require a median except where desired for added landscaping, traffic calming, or security. Curb and gutter is required on the ultimate street sections of all roads within the Summit View Business Park.

Paths and Sidewalks

Pleasant Breeze Road and Commonwealth Parkway must have an eight (8) foot multi-use path on one side of the road. A five (5) to eight (8) foot planting strip must separate the curb and the multi-use path. All other park roads must have a sidewalk on one side unless connectivity requires a second. Sidewalks must be a minimum of five (5) feet wide and be constructed of concrete or asphalt. Provide a three (3) foot minimum grass strip between the sidewalk and roadway curb. All sidewalks must meet ADA requirements.

Pedestrian Crossings

Pedestrian crossings and crosswalks are required at major intersections and roundabouts to safely move pedestrians across travel lanes. In most cases, crosswalks must not be placed mid-block or at locations other than street intersections. Mid-block crossings may be warranted in some cases if there are long block lengths and extensive distances between intersection crosswalks. Refer to VDOT guidelines for more information on crosswalk design and placement.



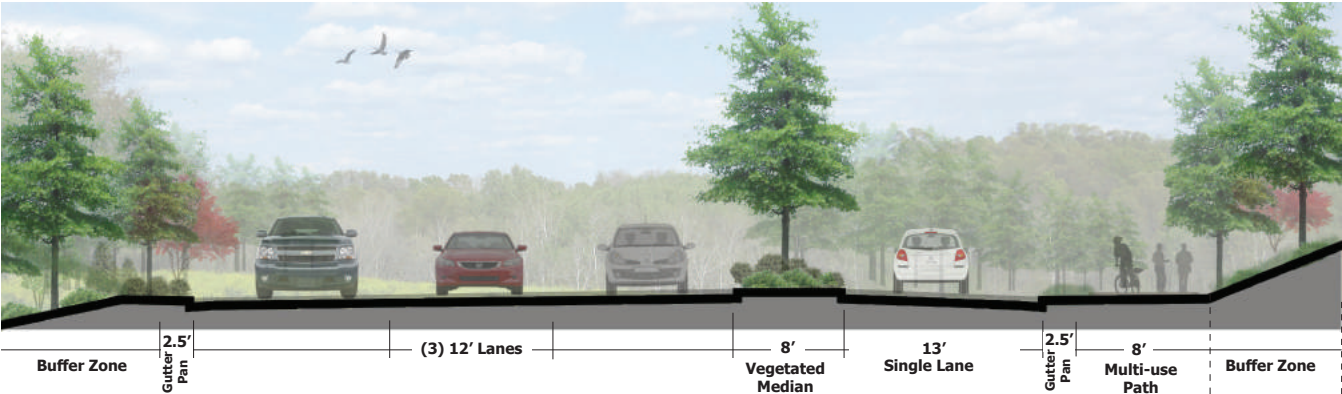
Street sections that don't have curb and gutter and lack sidewalks are unacceptable for primary roads. Curbs provide an edge to keep vehicles on the road at all times and separate pedestrian movement on sidewalks. (The Recreation Access Roads and other roads may meet different standards.)



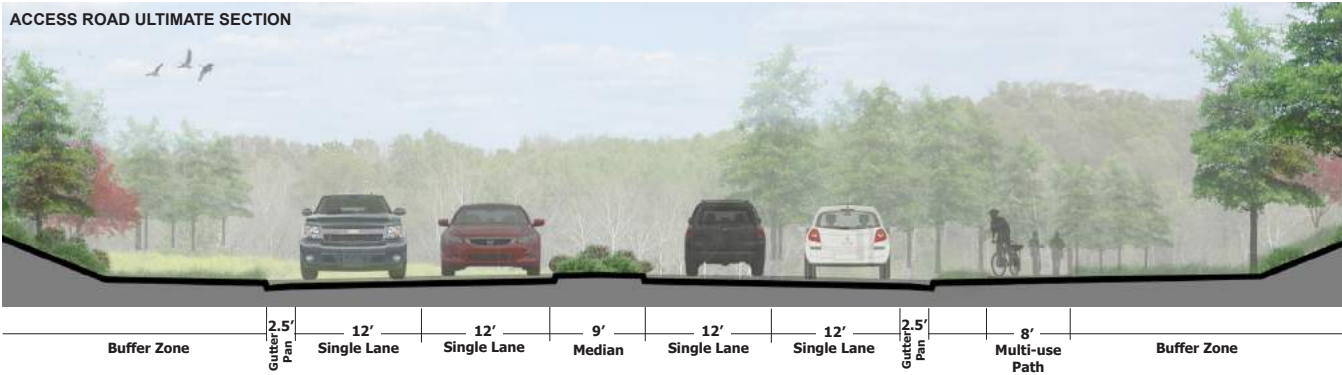
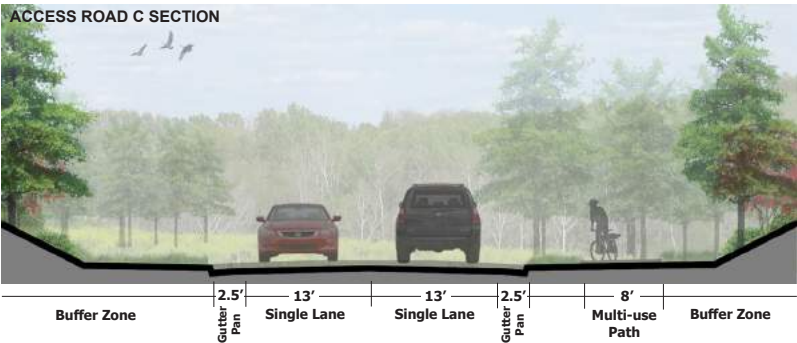
Tree limbs that overhang onto surrounding roads are problematic for trucks and tractor trailers. Trees must be planted so that the canopy will not grow into the road as shown in the image above. Appropriate species selection will ensure that the best trees are used in the right situations.

Streetscapes

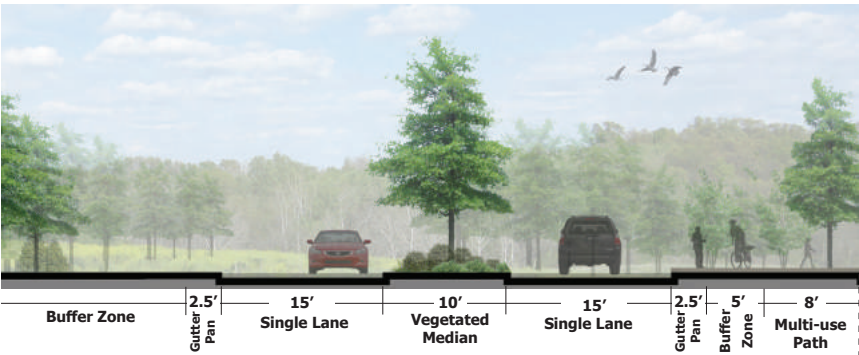
Typical Summit View Streetscapes



Typical section: Commonwealth Parkway



Typical sections: Pleasant Breeze Boulevard



Typical section: Virginia Way

Medians

Medians must be a minimum of nine (9) feet wide, but no greater than thirty (30) feet wide. Medians must be landscaped with species acceptable to Franklin County and VDOT. Low-maintenance and native species are encouraged. See recommended plant lists on pages 32 and 33.

Landscaping

A five (5) to eight (8) foot planting verge must be maintained between the street edge and the multiuse trail to provide a safe buffer between pedestrians and motorists. All landscaping within the right-of-way must conform to VDOT standards and must consist primarily of large deciduous trees and smaller trees for entrance areas. See recommended planting lists on page 32. Existing mature trees must be preserved when possible. Landscaping will be used to screen parking and service lanes from all roads, including U.S. Route 220.

Street Lighting

Street lighting in the public right-of-way must be consistent throughout the development and use the Holophane Esplanade Tear Drop fixture. Refer to Lighting section for more detail. Private site lighting selected by each owner or design team should be complementary to public lighting and building materiality.

Street Furnishings

Furnishings such as waste receptacles, benches, pedestrian scale specialty lighting, and bicycle racks must be incorporated into the streetscape network to provide a unified site comfortable for pedestrians. These elements must be of high quality and coordinated in a furnishing family to provide a unique identity visible throughout The Summit View Business Park.

- Parking lot and site lighting LED consistent with street lighting standards
- Any bike racks, benches, trash receptacles along/among business sites should be consistent with public street furnishings

Landscape

Appropriate Landscaping



Landscaping around buildings must have foundation plantings to include a diverse selection of annuals, perennials, shrubs, groundcovers, grasses, evergreens, and deciduous trees.



Crime Prevention Through Environmental Design (CPTED) principles must be utilized on each site to promote safety and security. Trees must be limbed up and shrubs and groundcovers must be kept low to maintain a highly visual corridor throughout the landscape.



Water features offer opportunities for reflection, create cooler micro-climates around buildings, and help to handle stormwater runoff. Water is a soothing element if used properly and compliments landscape and hardscape areas wherever there is high pedestrian activity.



Hardscape areas planted with shade trees and other landscape elements offer places to rest, work, communicate, and exchange information. When incorporating large trees, utilize innovative design to improve health and vigor of the living environment. Especially focus on soil and root volume. Select materials that enhance the visual experience as well as promote sustainability of plants.

Inappropriate Landscaping

All development within the Summit View Business Park must comply with Chapter 25; Article II; Division 3.B Landscaping and Buffering regulations of the Franklin County Zoning Ordinance. Properties adjacent to U.S. Route 220 must comply with requirements in Chapter 25; Article III; Division 13; Section 25-419. Additional requirements and guidelines are included below, including foundation and ornamental planting.

The key design elements outlined below are general guidelines intended to successfully landscape the site. Combining these categories will holistically integrate the landscape design for a site.

Landscape Design Philosophy

The Summit View Business Park is unified throughout with corridors of roadways and streetscapes. Each individual site must take on its own identity. Utilitarian plantings are suitable for industrial and logistics sites, while enhanced plantings compliment data centers and offices. Every site at the Summit View Business Park has an opportunity to set a precedent through the design of the landscape. A few common threads, identified below, must unify the Summit View Business Park as a whole.

Entrances and Focal Points

Enhance major site entrances to add a sense of arrival for employees and visitors. Use trees, shrubs, and groundcovers in addition to county required landscaping to enhance the entrances. Include focal features such as signs, pedestrian plazas, statues, art, and sculpture for added visual interest. Foundation plantings are needed to soften building façades.

Street Trees

Plant all public streets within the Summit View Business Park consistently with the same level of planting for added shade canopy and visual interest. Plant street trees at a maximum of 50 feet on center with species appropriate to VDOT requirements. Plant street trees along private site roads at a maximum of 40 feet on center. Street trees should be a minimum of caliper size of two inches.

Parking Lot Landscaping

Landscape parking lots in accordance with Franklin County zoning ordinance requirements. In general, parking lots must contain a diverse mix of large and small deciduous trees with shrubs and groundcovers utilized for interest near important pedestrian areas. Parking lots must be screened to mitigate views from adjacent roads and streetscapes, but also meet standards of Crime Prevention through Environmental Design (CPTED)

Foundation Plantings

Provide landscaping along building foundations. Small trees, shrubs, and groundcovers help to anchor a building and soften the intersections with the ground plane. Special attention should be given to main building entrances and pedestrian gathering spaces.



The lack of foundation landscaping at office parks create stark landscape. Large expanses of brick façade without landscape to soften the building are inappropriate. Avoid placing large stands of grass up next to the building foundation wherever possible. Foundation planting creates a natural buffer between mowers and buildings.



Bradford Pears are among many woody plants that should not be planted at Summit View. Weak wood and branching structure makes this tree unacceptable. Other species that are invasive or prone to diseases and pests must not be planted.

Landscape

Appropriate Landscaping



Landscape features at the entrances to buildings bring the scale down to a pedestrian level. Small trees and annual color enhance these entrances where high pedestrian traffic occurs.



Landscape and hardscape features enhance the aesthetic and quality of the site. Trees and shrub beds soften the ground plane and provide a green network throughout the site.



The character and scale of the landscape features must compliment the architecture. Large, columnar trees mimic the verticality of a building. Tall trees help to visually step down from a tall building to the ground plane, creating a pleasing sense of scale.



Fountains within plazas create areas that are easily identifiable and recognizable. These spaces function as gathering and orientation spaces, serve as focal points, abate unwanted noise, and help to define spaces. The materials used in these spaces should be complimentary to the architecture of the building.

Inappropriate Landscaping

Open Space Plantings

Supplementary plantings of trees, shrubs, and groundcovers must be provided where existing vegetation does not remain or where proposed development does not require landscaping other than grass. Group and arrange such plantings to appear more naturalized than building areas.

Buffers

Each site within the Summit View Business Park must have landscape buffers consistent with the Franklin County zoning ordinance requirements. Various buffer types are required based on proposed land use and adjacent land use. Preserve existing vegetation and utilize it towards the total plant material required for the buffer.

Landscaping of Best Management Practices

Refer to the Virginia Stormwater Management Handbook published by the Virginia Department of Conservation and Recreation for planting requirements for each type of stormwater management facility.

Plant Selection

Plant selection must be based around environmental factors unique to each plant. Sun and shade tolerance, mature height and width, evergreen or deciduous habit, soil moisture tolerance, and other factors all affect the success of plants on site. Reference the Franklin County zoning ordinance and the list of acceptable plants within this document for guidance on plant material selection. When selecting plants, consider the use of native and regionally adapted plant material.

Species Diversity

Landscape plans must utilize a full and diverse plant palette including evergreen, flowering, and shade trees, shrubs, groundcovers, perennials, and annual plantings. No more than 20% of the trees or shrubs selected can consist of a single species.

Plant Sizes and Standards

All plant material must conform to the guidelines outlined in the American Standards for Nursery Stock for all plant material quality, size, and installation of as well as requirements outlined in the Franklin County zoning ordinance. Large and small deciduous trees must be planted at a minimum 2.5-inch caliper. Evergreen trees must be planted a minimum height of 7 feet. Shrubs must be planted a minimum height of 18 inches.

Maintenance of Landscape

Each site will have long-term maintenance associated in order to retain a quality and viable site. Damaged, unhealthy, or expired

plant material must be replaced during the next appropriate planting period.

Landscape Plan Review

Any development requiring the submittal of a concept plan must also include a landscape plan showing the location, design, size, height, and arrangement of all plantings (see page 46). Landscape plans must be subject to review and approval by the Franklin County Zoning Administrator and the Franklin County Board of Supervisors.



Trees and large shrubs placed too close to buildings or sidewalks will overgrow their space in time and cause a significant maintenance issue. Proper design requires selection of appropriate plant species and cultivars and special attention to layout and spacing.

Landscape

Recommended Plant List

These plant lists represent regional ecotypes as well as advancement within the industry of the nursery trade. Care should be given to select appropriate varieties of these species that exhibit excellence in adaptability and aesthetics. Improved cultivars will provide greater versatility in design to meet desirable growth forms and function. Those plants that are on the Franklin County Recommended Plant List (Section 25-103 of the Zoning Ordinance) are indicated as such in the far-right column.

Confirm prior to selection that no invasive plant species are specified for use. Refer to the latest edition of “Invasive Alien Plant Species of Virginia” published by the Virginia Department of Conservation and Recreation (DCR) and the Virginia Native Plant Society. For more information regarding native plants to Virginia with respect to communities and regions, consult the latest edition of “Native Plants for Conservation, Restoration, and Landscaping” for the Virginia Mountain Region published by the DCR.

| Large Shade Trees | | | | | | |
|--------------------------------|------------------|-------------------|----------------|-------------------|--------------------------|----------------------------|
| Latin Name | Common Name | Mature Size | Exposure | Suggested Spacing | Bioretention/ LID plants | Franklin County Plant List |
| <i>Acer rubrum</i> | Red Maple | 40-60 ht 25-45'w | Sun-Shade | 40' o.c. | ✓ | ✓ |
| <i>Betula nigra</i> | River Birch | 25-50'ht 25-35'w | Sun/Part shade | 20' o.c. | ✓ | |
| <i>Celtis occidentalis</i> | Hackberry | 40-60'ht 40-60'w | Full Sun | 40' o.c. | ✓ | ✓ |
| <i>Ginkgo biloba</i> (male) | Ginkgo (male) | 50-80'ht 30-40'w | Full Sun | 40' o.c. | | ✓ |
| <i>Liriodendron tulipifera</i> | Tulip Poplar | 70-90'ht 40'w | Full Sun | 30' o.c. | | |
| <i>Liquidambar styraciflua</i> | Sweetgum | 60-75'ht 40-50' w | Full Sun | 40' o.c. | ✓ | ✓ |
| <i>Nyssa sylvatica</i> | Black Gum | 30-50'ht 20-30'w | Sun-Shade | 40' o.c. | | |
| <i>Pistacia chinensis</i> | Chinese Pistache | 30-40'ht 20-30'w | Full Sun | 25' o.c. | | |
| <i>Platanus occidentalis</i> | Sycamore | 75-90'ht 60-70'w | Full Sun | 30' o.c. | ✓ | |
| <i>Quercus bicolor</i> | Swamp White Oak | 50-60'ht 50-60'w | Full Sun | 40' o.c. | ✓ | ✓ |
| <i>Quercus nuttalli</i> | Nuttall Oak | 60-80'ht 35-50'w | Full sun | 40' o.c. | ✓ | |
| <i>Quercus phellos</i> | Willow Oak | 50-79'ht 30-50w | Full Sun | 30' o.c. | ✓ | ✓ |
| <i>Ulmus parvifolia</i> | Chinese Elm | 60-90'ht 55-80'w | Sun/Part shade | 40' o.c. | | ✓ |

| Ornamental Trees | | | | | | |
|--------------------------------|-------------------|------------------|------------------|-------------------|--------------------------|----------------------------|
| Latin Name | Common Name | Mature Size | Exposure | Suggested Spacing | Bioretention/ LID plants | Franklin County Plant List |
| <i>Aesculus pavia</i> | Red Buckeye | 12-15'ht 12-15'w | Sun/Part shade | 20' o.c. | | ✓ |
| <i>Amelanchier canadensis</i> | Serviceberry | 6-15'ht, 15-20'w | Sun/Part shade | 20' o.c. | ✓ | ✓ |
| <i>Aronia arbutifolia</i> | Red Chokecherry | 12-25'ht 10-20'w | Full Sun | 20' o.c. | ✓ | |
| <i>Carpinus caroliniana</i> | American Hornbeam | 35-50'ht 20-30'w | Part shade/Shade | 30' o.c. | | ✓ |
| <i>Cercis canadensis</i> | Eastern Redbud | 20-30'ht 25-35'w | Sun/Part shade | 15-20' o.c. | | ✓ |
| <i>Chionanthus virginicus</i> | Fringetree | 15-30'ht 12-20'w | Part shade | 20' o.c. | | ✓ |
| <i>Cornus florida</i> | Flowering Dogwood | 20-30'ht 15-20'w | Sun/Part shade | 15-20' o.c. | | |
| <i>Hammamelis virginiana</i> | Witch Hazel | 10-15'ht 8-12'w | Part shade/Shade | 10' o.c. | | ✓ |
| <i>Koelreuteria paniculata</i> | Goldenraintree | 30-40'ht 30-40'w | Full sun | 40' o.c. | | ✓ |
| <i>Magnolia soulangiana</i> | Saucer Magnolia | 15-25'ht 15-25'w | Sun/Part shade | 20' o.c. | | |
| <i>Magnolia virginiana</i> | Sweetbay Magnolia | 10-60'ht 10-20w | Full Sun | 10-20'o.c. | ✓ | |
| <i>Oxydendrum arboreum</i> | Sourwood | 20-30'ht 10-15'w | Sun/Part shade | 30' o.c. | | ✓ |
| <i>Prunus spp.</i> | Cherry | 15-30'ht 10-20'w | Full Sun | 15-20' o.c. | | |
| <i>Viburnum spp.</i> | Viburnum | 3-20'ht 3-20'w | Full Sun | 3-20' o.c. | | ✓ |

| Evergreen Trees | | | | | | |
|-----------------------------|--------------------|-------------------|----------------|-------------------|--------------------------|----------------------------|
| Latin Name | Common Name | Mature Size | Exposure | Suggested Spacing | Bioretention/ LID plants | Franklin County Plant List |
| <i>Cryptomeria japonica</i> | Japanese Cedar | 50-60'ht 20-30'w | Full Sun | 15' o.c. | | ✓ |
| <i>Ilex spp.</i> | Holly | 30'-60'ht 18-35'w | Sun/Part shade | 15' o.c. | | ✓ |
| <i>Ilex opaca</i> | American Holly | 15'-30'ht 10-20'w | Sun/Part shade | 20' o.c. | | ✓ |
| <i>Juniperus virginiana</i> | Eastern Red Cedar | 30-40'ht 10-20'w | Full sun | 15' o.c. | | ✓ |
| <i>Magnolia grandiflora</i> | Southern magnolia | 60-80'ht 30-50'w | Sun/Part shade | 15' o.c. | | ✓ |
| <i>Picea abies</i> | Norway Spruce | 40-60'ht 25-30'w | Full sun | 30' o.c. | | |
| <i>Pinus strobus</i> | Eastern white pine | 50-80'ht 20-40'w | Sun/Part shade | 40' o.c. | | ✓ |
| <i>Pinus taeda</i> | Loblolly Pine | 60-80'ht 30-35'w | Part shade | 30' o.c. | | |
| <i>Thuja occidentalis</i> | Eastern Arborvitae | 40-60'ht 10-15'w | Full sun | 15' o.c. | ✓ | ✓ |
| <i>Thuja plicata</i> | Western Arborvitae | 60-80'ht 10-20'w | Full sun | 10' o.c. | | |
| <i>Tsuga canadensis</i> | Canadian Hemlock | 30-80'ht 15-30'w | Sun/Part shade | 20' o.c. | | |

Suggested Plant List

| Evergreen Shrubs | | | | | | |
|---------------------------------|----------------------|------------------|----------------|-------------------|-----------------------------|-------------------------------|
| Latin Name | Common Name | Mature Size | Exposure | Suggested Spacing | Bioretention/ LID plants | Franklin County Plant List |
| <i>Buxus spp.</i> | Boxwood | 10-15'ht 10-15'w | Sun/Part shade | 5' o.c. | | |
| <i>Ilex spp.</i> | Holly | 3-4'ht 3-4'w | Sun/Part shade | 3-5' o.c. | ✓ | ✓ |
| <i>Juniperus spp.</i> | Juniper | 5-10'ht 8-12'w | Full sun | 3' o.c. | | |
| <i>Mahonia aquifolium</i> | Oregon Grape Holly | 3-6'ht 2-5'w | Sun/Part shade | 4' o.c. | | |
| <i>Myrica cerifera</i> | Wax Myrtle | 8-15' ht 8-15'w | Sun/Part shade | 6' o.c. | | |
| <i>Physocarpus opulifolius</i> | Ninebark | 3-10'ht 4-6'w | Sun-shade | 6' o.c. | | |
| <i>Rhododendron spp.</i> | Azalea | 3-8'ht 3-8'w | Sun/Part shade | 3' o.c. | ✓ | |
| <i>Rhododendron catawbiense</i> | Catawba Rhododendron | 6-20'ht 6-12'w | Shade | 15' o.c. | | ✓ |
| <i>Rhododendron maximum</i> | Great Rhododendron | 4-15'ht 4-15'w | Part shade | 15' o.c. | | ✓ |
| <i>Viburnum rhytidophyllum</i> | Leatherleaf Viburnum | 10-15'ht 10-15'w | Sun/Part shade | 4' o.c. | | |

| Deciduous Shrubs | | | | | | |
|-----------------------------------|---------------------|------------------|------------------|-------------------|-----------------------------|-------------------------------|
| Latin Name | Common Name | Mature Size | Exposure | Suggested Spacing | Bioretention/ LID plants | Franklin County Plant List |
| <i>Abelia spp.</i> | Abelia | 3-8'ht 3-6'w | Sun/Part Shade | 6' o.c. | | ✓ |
| <i>Aronia melanocarpa</i> | Black Chokecherry | 3-6'ht 3-6'w | Sun-shade | 6' o.c. | | ✓ |
| <i>Cephalanthus occidentalis</i> | Buttonbush | 6-12'ht 6-10'w | Part shade/Shade | 10' o.c. | ✓ | |
| <i>Clethra alnifolia</i> | Summersweet Clethra | 3-8'ht | Sun/Part Shade | 2' o.c. | ✓ | |
| <i>Cornus sericea</i> | Redosier Dogwood | 6-10'ht 6-10'w | Sun/Part Shade | 3' o.c. | ✓ | |
| <i>Forsythia spp.</i> | Forsythia | 2-4'ht 5'w | Sun/Part Shade | 3' o.c. | | ✓ |
| <i>Fothergilla spp.</i> | Witchalder | 2-10'ht 2-9'w | Sun/Part Shade | 3'-10' o.c. | | ✓ |
| <i>Hydrangea arborescens</i> | Wild Hydrangea | 3-6'ht 3-8'w | Part shade | 8' o.c. | | |
| <i>Hydrangea quercifolia</i> | Oakleaf Hydrangea | 4-8'ht 5-10'w | Sun/Part Shade | 3' o.c. | | |
| <i>Ilex verticillata</i> | Winterberry | 6-10'ht 6-10'w | Sun/Part Shade | 4' o.c. | ✓ | |
| <i>Itea virginica</i> | Sweetspire | 3-5'ht 3-5'w | Sun/Part Shade | 4' o.c. | | ✓ |
| <i>Lindera benzoin</i> | Spicebush | 8-13'ht 8-13'w | Sun/Part Shade | 3' o.c. | ✓ | |
| <i>Rhododendron arborescens</i> | Sweet Azalea | 8-20'ht 8-15'w | Part shade | 5' o.c. | | ✓ |
| <i>Rhododendron calendulaceum</i> | Flame Azalea | 4-10'ht 4-10'w | Sun/Part Shade | 3' o.c. | | ✓ |
| <i>Rhus aromatica</i> | Fragrant Sumac | 2-6'ht 6-10'w | Sun/Part Shade | 3' o.c. | | |
| <i>Sambucus canadensis</i> | Common Elderberry | 12'ht 5-12'w | Part shade | 12' o.c. | ✓ | |
| <i>Viburnum dentatum</i> | Arrowwood Viburnum | 6-8'ht 6-15'w | Sun/Part Shade | 4' o.c. | ✓ | ✓ |
| <i>Viburnum nudum</i> | Possumhaw Viburnum | 12-20'ht 12-20'w | Sun-shade | 20' o.c. | | ✓ |
| <i>Viburnum prunifolium</i> | Blackhaw Viburnum | 12-15'ht 8-12'w | Sun-shade | 10' o.c. | ✓ | ✓ |
| <i>Weigela spp.</i> | Weigela | 3-20'ht 3-12'w | Sun/Part Shade | 3-12' o.c. | | ✓ |

| Ground Covers | | | | | | |
|-------------------------------|-----------------------|---------------------|----------------------|-------------------|-----------------------------|-------------------------------|
| Latin Name | Common Name | Mature Size | Exposure | Suggested Spacing | Bioretention/ LID plants | Franklin County Plant List |
| <i>Hypericum calycinum</i> | St.Johns Wort | 1-1.5' ht 1.5-2'w | Sun/Part Shade | 18" o.c. | | |
| <i>Juniperus horizontalis</i> | Creeping Juniper | .75-1'ht .75-1'w | Full Sun | 30" o.c. | | ✓ |
| <i>Liriope spp.</i> | Liriope | 1-1.5'ht .75'w | Sun/Part Shade/Shade | 18" o.c. | | ✓ |
| <i>Pachysandra procumbens</i> | Allegheny Pachysandra | .5-.75' ht .5-.75'w | Part Shade/Shade | 24" o.c. | | |
| <i>Phlox divaricata</i> | Wild Blue Phlox | .75-1'ht .75-1'w | Sun/Part Shade | 24" o.c. | | |

| Ornamental Grasses | | | | | | |
|-----------------------------------|--------------------|--------------|----------|-------------------|-----------------------------|-------------------------------|
| Latin Name | Common Name | Mature Size | Exposure | Suggested Spacing | Bioretention/ LID plants | Franklin County Plant List |
| <i>Calamagrostis x acutiflora</i> | Feather Reed Grass | 3-5'ht 2-4'w | Full Sun | 2.5-4' o.c. | | |
| <i>Panicum virgatum</i> | Switch grass | 3-7'ht 3-5'w | Full Sun | 3-5' o.c. | ✓ | |

Lighting

Appropriate Lighting



This is the Summit View standard light fixture and pole. LED lights produce the most efficient lumen levels among light fixture options, produce fewer dark spots, and last 5 times longer than metal halide and other light sources.



Light bollards are excellent for pedestrian level wayfinding. Bollards must be of the same light family as the rest of the site lighting fixtures used on site.



Pedestrian scale lighting is critical for site safety and security. Crime Prevention Through Environmental Design (CPTED) principles stress the importance of increased light levels for pedestrian scale lighting and the resulting effectiveness of crime prevention.



Architectural building lighting enhances the aesthetic of a façade. Wall washes, sconces, uplights, and linear tube lighting achieve the special effects desired by architectural specialty lighting.

The lighting design and installation practices within the Summit View Business Park must increase safety and security while maintaining a high-quality image throughout the development. All lighting must meet Franklin County Zoning Ordinance Chapter 25; Article II; Division 4.2. Lighting fixtures must be dark sky compliant and selected to minimize glare and light pollution to surrounding areas. This includes full cut-off fixture design. Lighting type, fixture selection, lighting levels, and lighting color are all important considerations outlined in greater detail below:

Lighting Type

All fixtures must be downward-facing LED lights unless otherwise approved by the Architectural Review Board. LED lights are proven to use less energy and have a substantial life cycle cost savings.

Street Lighting

Street lighting within the public right-of-way is leased and maintained through Appalachian Electric Power (AEP). The Holophane Esplanade Tear Drop fixture or approved equivalent must be used. Use this product code for the Holophane lighting fixture: ESL2 P30S 40K AS GN TG 3 P P7 PCLL SS. These fixtures must be used along the main roadways only. Street lights must be mounted no more than 22 feet high on an AEP aluminum roadway lighting pole D.S. 1460-F. The pole color must match the fixture color. Lighting must be downward lighting to avoid unnecessary glare. Street lighting will be VDOT-compliant.

Parking Lot Lighting

Parking lot lighting is critical for the safety and security of motorists walking to and from their vehicles. The Holophane Esplanade Tear Drop fixture or approved equivalent must be used. Use this product code for the Holophane lighting fixture: ESL2 P30S 40K AS GN TG 3 P P7 PCLL SS. These lights must be mounted no more than 22 feet high on an AEP aluminum roadway lighting pole D.S. 1460-F. The pole color must match the fixture color. Lighting must meet applicable requirements set forth in the Franklin County zoning ordinance and CPTED guidelines.

Pedestrian Lighting

Pedestrian lighting must be utilized in areas where high pedestrian traffic occurs and added safety is essential. Holophane Esplanade Tear Drop fixture or approved equivalent must be used. Use this product code for the Holophane lighting fixture: ESPL2 P50 40K AS P N 4 SS P7 PCS. Pedestrian lights must be mounted no more than 13 feet high. The pole color must match the fixture color.

Low Voltage Landscape and Specialty Lighting

Specialty lighting must be used to enhance the site at night. Landscape accent lighting for special features, bollards, path lights, step lights, and architectural washes all contribute to the night

aesthetic of a site.

Architectural Lighting

Exterior lighting of buildings must enhance the overall aesthetic of the building and surrounding site. Wall sconces, wall washes, tube lighting, and other specialty lighting may be incorporated to achieve the optimal effect.

Fixture Selection

All site lighting must be a part of a designed family, utilizing coherent materials, styles, shapes, and light colors. Fixtures must complement the architecture of the building and must specifically cater to the image of the business park.

Lighting Levels

All exterior lights must be designed so that no more than 1/2 foot-candle extends onto an adjacent parcel. All hardscape and parking areas must meet minimum light levels to satisfy requirements in the Franklin County zoning ordinance. All light levels must meet IES and CPTED standards.

Lighting Color

Lighting color plays a key role in the aesthetic of and environment at night. Color temperature of 4000K must be used.

Inappropriate Lighting



Cobra style fixtures are inappropriate as the drop lenses create glare and are not dark sky compliant. All light fixtures at Summit View must be dark sky compliant.

Lighting

Lighting Standard



OUTDOOR LIGHTING



Esplanade® LED



Memphis LED
(with Uplight)

FEATURES AND BENEFITS

- Complete family with traditional daytime form, scaled to provide a layered aesthetic design to your streetscape
- Engineered for maximum energy efficiency, superior visibility and visual comfort
- High lumens per watt in packages ranging from 3,000 to 24,660 lumens
- Retrofit solutions to provide seamless transition to LED with minimal disruption to infrastructure
- Dim, monitor, schedule and even diagnose luminaires with wireless networked control solutions

TYPICAL APPLICATIONS

- City Streets
- Urban Boulevards
- Campuses
- Parks
- Historic Districts
- Commercial Developments

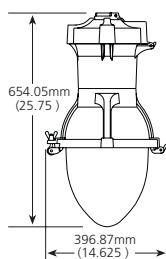
HOLOPHANE® | DECORATIVE | Tear Drop LED Series 3

HOLOPHANE®

PEDESTRIAN TEAR DROP LED

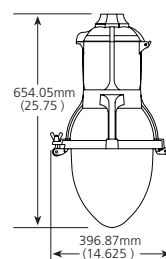
SPECIFICATIONS & ORDERING INFORMATION

DIMENSIONAL DETAILS



Esplanade Pedestrian

Maximum Weight: 22 kg (49 lbs)
Maximum E.P.A.: 1.43 sq. ft.



Memphis Pedestrian

Maximum Weight: 22 kg (49 lbs)
Maximum E.P.A.: 1.36 sq. ft.

PERFORMANCE SPECIFICATIONS

General

The Tear Drop LED luminaire is styled to replicate the "teardrop" luminaires that lighted boulevards in the first half of this century. Designed for light control and ease of installation and maintenance, the Pedestrian Tear Drop LED luminaire has a precision optical system for true street lighting performance.

Wiring Chamber

The wiring chamber has the option of a Quick Stem Mount fitter or an NPT threaded entry for pendant mounting. A stainless steel set screw locks the unit in position. A three station terminal block will accept #14 through #2 wires and is prewired to one half of the plug assembly that connects to the removable electric module.

Electrical and Optical Assembly

The electrical and optical assembly hinges down from the wiring chamber for ease in wiring and to facilitate the removal of the electrical module. The assembly is secured in place by a stainless steel latch. The unitized electrical module consists of the electronic driver and components mounted to an aluminum plate that is easily removed by loosening two screws in keyhole slots. The disconnect plug connects the driver to the terminal block in the wiring chamber.

Refractor and Door Assembly

The cast aluminum door supports a choice of shallow or teardrop style thermal resistant borosilicate glass refractor that controls the light to provide symmetric or asymmetric distribution. The combination of LED's and refractor maximize efficiency and uniformity of illumination while controlling luminaire brightness. The refractor assembly and decorative skirt assembly (when applicable) hinges from the electrical and reflector assembly and is latched by a stainless steel, captive, wing nut assembly.

Electronic Driver

LED dimmable driver with 0-10V control leads is standard.

Finish and Material

The luminaire is finished with polyester powder paint to insure maximum durability. All castings utilize alloy #356 aluminum for maximum corrosion resistance and all exposed hardware is stainless steel.

Listing

CSA listed for 25°C minimum, with many listings at higher ambient temperatures ... consult spec sheet for details. IP66 rated optical housing.

Signage

Appropriate Signage



Freestanding building monument signs must be located near the major entrance to the facility.



Off-site directional signage throughout the park must be part of an overall sign family. The directional signage must have capacity for additional tenants.



Monument signs with landscaping and lighting create an image and a sense of place. Each gateway into the Business Park must have monument signage and landscaping as part of the entry sequence.



Building identification signage must be made of materials complimentary of the architecture. One freestanding sign must be permitted on each lot per the Franklin County Zoning Ordinance. Materials used must be consistent and compatible with the surrounding architecture.

All exterior signs will be subject to review by Franklin County, VDOT, and the Franklin County Board of Supervisors. Signage must meet the requirements of the Franklin County Zoning Ordinance Chapter 25; Article II; Division 4.1 and Chapter 25; Article III, Division 13; Sections 25-419 and 25-420. In general, there are several types of signage and each should be designed to establish a consistent palette of materials, finishes, and scale as a part of a design family. The following signage categories must be located within the development:

On-site Directory Sign

These signs must identify and provide directional information to each specific business within the development. The signs may include logos and/or business names.

On-site Directional Sign

These signs must direct traffic to a specific business on the same site on which the sign is located. Onsite directional signs must be located to orient visitors to key locations on site.

Off-site Directional Sign

These signs direct traffic to a site. Off-site directional signs must be part of a family of signs within the Summit View Business Park. Most of these signs must be located within the right-of-ways on public roads in the development.

Building Mounted Sign

These signs must be permanently attached signs, erected or painted on an outside wall or roof of the building. Building mounted signs must be constructed utilizing compatible building materials to the architecture.

Construction Signs

One construction sign denoting the architect, engineer, contractor, other related professionals and the construction lender will be permitted on a site during the construction period only.

Sign Limitations

Off-premises signs are prohibited. Signs containing moving devices, flashing lights, banners, or scrolling advertisements are also prohibited.

Temporary Signage

No portable or temporary signs, other than construction signs will be allowed.

Location of Free Standing Signs

Signs are permitted within the required landscape yards, with the following conditions: Where the landscape yard is eighty (80) feet, the sign must be set back a minimum of forty five (45) feet from the edge of the right-of-way. Within a required twenty five (25) foot

yard, the sign must be set back a minimum of fifteen (15) feet from the edge of the right-of-way.

Sign Landscaping

Lawn, groundcovers, shrubs and trees, must be provided around each permanent freestanding sign. These planting must be required as part of the overall site landscaping plan.

Sign Lighting

External lighting must not be blinking, fluctuating or moving. External lighting must be provided by concealed and/or screened spots or floods. If external lighting is used, the sign must not be internally illuminated.

Flags and Flagpoles

Only the following flags may be installed: The flag of the USA, State of Virginia, official government Franklin County Flag, or corporate logo only. Flags and flagpoles must meet the requirements outlined in the Franklin County zoning ordinance.

Signage Review

Any development requiring the submittal of a concept plan must also include a signage plan showing the location, design, size, height and arrangement of all free-standing signs. Signage plans must be subject to review and approval by the Franklin County Zoning Administrator and the Franklin County Board of Supervisors.

Inappropriate Signage



Directional and monument signage such as the above sign without landscaping is unacceptable. Utilize landscape elements to anchor signs and provide context.

Parking

Appropriate Parking Lots



Stormwater regulations may require the consideration of permeable pavement and other Low-Impact Development solutions for parking areas. Consider paving drive aisles and major site roads with asphalt while using permeable pavement for parking stalls.



Parking lot islands must be landscaped with large trees and low shrubs / groundcovers to allow visual access throughout. Crime Prevention Through Environmental Design (CPTED) principles must be incorporated in the landscape design in parking areas to ensure safety of pedestrians and motorists.



Entrances to parking lots should be inviting. Add entrance medians and enhanced landscaping to major parking lot entrances. Signage, in combination with landscape features, creates a gateway into the site.



Visual separation between parking bays and public streets and drives is required within Summit View Business Park. Utilize existing buffers in combination with supplementary plantings.

Key considerations in the successful design of a parking lot include required buffers and setbacks for landscaping, surface treatments, drive-aisle and parking widths, and grading and drainage. All parking facilities within the Summit View Business Park must be designed and constructed as to minimize the visual impact of the automobile while safely serving the needs of motorists and pedestrians. Employee parking must be oriented to the rear of the buildings.

Franklin County has planned for regional water quantity in the design of the Business Park. Individual lot owners/businesses will be responsible to provide for and manage water quality management.

Required Parking

Comply with the requirements of the Franklin County zoning ordinance Article II, Division 3, sections 25-80 through 25-82 for minimum number of required off-street parking spaces. Parking in front of front door sides of buildings is discouraged.

Required Loading Space

Comply with the requirements of the Franklin County zoning ordinance Article II, Division 3 sections 25-85 for minimum number of required loading spaces.

Parking Lot Setbacks

Off-street parking areas must be located outside of the required landscape yard areas. Refer to the Franklin County zoning ordinance for detailed information regarding setbacks and buffers.

Surface Treatments

Parking lots must be paved with asphalt unless heavy duty concrete is needed for loading and high traffic areas. Alternative pavement options (such as permeable pavements) may be permitted provided that they are approved by the Franklin County Board of Supervisors prior to final plan approval. Curb and gutter is required for all parking areas unless low-impact development parking design techniques are implemented, and approval is granted by the Franklin County Board of Supervisors.

Drive Aisle and Parking Widths

Parking lot drive aisles must be twenty-four (24) feet. Parking spaces must be standard ten (10) feet wide by twenty (20) feet in length. Two-way circulation throughout parking lots must be standard design. Parking lot islands and continuous medians between parking bays must be designed to meet the minimum requirements outlined in the Franklin County zoning ordinance. Parking areas must be arranged so that they are regularly broken up with landscaped islands and street trees for shade and environmental enhancement. Parking lots should provide safe pedestrian ways through the lots and to building entrances. Emergency vehicle access must be accommodated through the

design of the parking lot as set forth in the ordinance.

Grading and Drainage

Parking lots must be graded to direct surface water toward storm structures or on-site stormwater management features and ultimately to one of the regional BMPs within the park. Stormwater management practices must abide by the Department of Environmental Quality's *Virginia Stormwater Management Handbook*. Review proposed stormwater management design approaches with the Franklin County Board of Supervisors prior to finalizing the design.

Inappropriate Parking Lots



Parking lots without medians or islands contribute to heat island effect and increased stormwater runoff. Contiguous parking bays must be broken up by landscaped medians and long runs of parking spaces must be interrupted with smaller islands with large trees for shade. Two-way circulation must be primarily used unless otherwise necessary. One-way circulation can be confusing and hazardous to pedestrians and motorists.

Loading & Service Areas

Appropriate Loading & Service Areas



Equipment screening made of louvered stainless steel projects a sleek alternative to screening while providing ventilation and air flow.



The mechanical equipment screening above utilizes modern materials. The combination of glass and steel is compatible with the adjoining building.



A combination of masonry, steel, and plant materials provide attractive enclosures for dumpsters. Landscape screening must be primarily evergreen. Layered plantings, rather than continuous hedges are preferred for screening of mechanical units or dumpsters. Dumpster screens that allow visibility are unacceptable. Swing gates and man gates must be visually opaque and consistent with other building materials.



Walls such as this living wall represent forward thinking designs for mechanical and equipment screens. Consider green walls and green screen must be considered where pedestrians will be in close proximity to mechanical and utility areas.

Loading & Service Areas

Inappropriate Service Areas

Loading, service, and utility areas within the Summit View Business Park must be designed to conceal mechanical equipment, dumpsters, HVAC equipment, roof top units, utility meters and cabinets, generators, and loading/service docks. These functions must be located to the rear or sides of buildings and must be buffered from direct view.

Except during construction, no outside storage of materials, storage trailers, or operations of any kind will be permitted on any lot unless properly buffered.

All landscape plans must be approved by the Franklin County Board of Supervisors prior to county plan approval. The following key considerations must be followed regarding unsightly elements:

- ▶ **Utilities:** All utility services are to be placed underground.
- ▶ **Dumpsters:** All dumpsters and trash collection areas must be screened from public view by means of walls, fences, and/or landscaping. Dumpsters must be located to the rear of the property. Fences and walls must be continuous and opaque. Swing gates or doors must not be visually permeable or permanently open.
- ▶ **Ground and wall-mounted mechanical/electrical equipment:** Must be screened from general public view by means of fences, walls, landscape planting, or other screening as approved by the zoning administrator.
- ▶ **Generators:** Industrial generators must be located in mechanical enclosures not visible from the public view. Smaller generators may be located on site if screened with appropriate landscaping materials.
- ▶ **HVAC:** All HVAC units on the ground must be screened with walls, fences, and/or landscaping.
- ▶ **Loading and Service Areas:** Loading and service must be located to the sides and rear of the sites and must be screened from public view.
- ▶ **Roof-mounted Equipment:** Mechanical, electrical, or communication equipment (including satellite dishes) must be concealed from view of public rights-of-way and from neighboring properties at street level. If reasonable height (up to eight (8) foot tall) parapet or screen walls are insufficient to provide screening, all equipment must be painted a neutral color to blend with roofing materials.

Designers of enclosures, walls, fences, and landscape screens should look to modern alternatives for screening of loading and service areas. Greenscreens, green walls, and the creative use of contemporary building materials are examples of aesthetically pleasing screens. The combination of masonry, block, aluminum or steel, and landscape features will yield the most attractive results.

All screening for loading and service areas and utility equipment must be approved by the Franklin County Board of Supervisors in addition to meeting the requirements set forth in the Franklin County zoning ordinance.



Dumpster screens that allow visibility are unacceptable. Swing gates and man gates must be visually opaque and consistent with other building materials.



HVAC equipment without screening must not be permitted. Screen walls, architectural enclosures, fences, and landscaping must conceal these elements from public view.

Fencing

Appropriate Fencing



Railings and fall protection measures must be thoughtfully designed to combine safety and style. Railings must be compatible with the architectural features of the building.



Fencing combined with stone or masonry features provide separation, screening, and visual interest. All fences must be appropriately anchored for the application. Powder coats offer ideal protection for metal from environmental features and weathering.



Vehicular and pedestrian gates must match the fence in size, material and finish.



Decorative and delineation fences highlight walkways, property lines and environmental features. Fences must be consistent with the materials used in construction of the primary building on site.

Fences are broken into several different categories and uses within the Summit View Business Park, as described below. The following types of fencing are prohibited.

- ▶ Chain link fence that is not vinyl coated (black or green) or does not include vinyl slat inserts (black or green)
- ▶ Board on board fencing is prohibited.

Privacy Fence

Privacy fencing is typically made of masonry, block, or metal and prevents any visibility into an area. Privacy fence heights range from 6 feet to 8 feet. These fences may be utilized around building patios or public spaces that need to be separated from other gathering spaces nearby.

Security Fence

Security fencing may be used for perimeter safety and security. Security fences must be constructed of steel, iron, or aluminum and complement the architectural style of the building. These fences do not need to be opaque. This style of fencing must be a minimum of 6 feet tall.

Perimeter fencing is required for some stormwater management areas per the Virginia Department of Environmental Quality's Virginia Stormwater Management Handbook.

Screening Fence

Screening fences are intended for use in screening dumpsters, mechanical equipment, utilities, and loading and service areas. These fences must consist of an opaque material and restrict visibility. Evergreen plantings may be used in combination with more visually permeable fences to achieve the outcome of screening. Louvered partitions, block or masonry walls, and metal fences are considered screening fences. Fences, walls, and vegetative buffers at mature height, must be a minimum of 12 inches above the material or equipment being screened. If vegetative materials only are used, they must provide total visual buffering.

Decorative Fence

Decorative fences are used in combination with walls to provide an accent to a focal point or major entrance. These fences can be constructed using steel, iron, or aluminum. Decorative fences are typically between 2 feet and 4 feet high and may be combined with landscaping elements to achieve a desired effect.

Inappropriate Fencing



Open-mesh, chain-link fencing is only acceptable for use along rear property lines in areas that are not visible by the public. If utilized, these fences must be vinyl coated in black or dark green.



Board on board fencing is not acceptable. Steel, iron, and aluminum fencing are suitable alternatives for use at Summit View.

Fencing

Lot Line and Delineation Fences

Fences used along property boundaries and along thoroughfares and drives help to direct and alert people to boundaries. These fences are also used to separate and protect environmental features such as steep slopes, BMPs, wetlands, etc. Typical construction for these fences must be steel, iron, or aluminum. A fence of this type must be between 4 feet and 8 feet in height.

*Open-mesh chain-link fences must be prohibited except along rear property lines in areas that may not be visible by the public. If utilized, these fences must be vinyl coated or include vinyl slat inserts in black or dark green.

This page is intentionally left blank.

Plan Review Requirements

Any new development planned for the Summit View Business Park must require a Concept Plan submitted for review and approval by the Franklin County Board of Supervisors.

This Concept Plan must contain, at a minimum, the following items:

- ▶ Conceptual Site Plan showing the location of all proposed buildings, parking, loading areas, storage areas and other site program elements. Identify the location of adjacent existing facilities, road right-of-way and adjacent property lines.
- ▶ Conceptual Landscape Plan, including Signage
- ▶ Conceptual Lighting Plan
- ▶ Conceptual Building Plan and Elevations

Following approval of the Concept Plan by the Franklin County Board of Supervisors, submit Site Plans for approval by the Franklin County Development Services Department and other authorities having jurisdiction. Site plan approval is required prior to commencement of land disturbance activities, issuance of a zoning permit and issuance of a building permit. Site plan Final Approval required by Franklin County Board of Supervisors based on previous concept plan approval.

The Franklin County Board of Supervisors will require final approval of site plans before final approval by the County.

This page is intentionally left blank.

